



CITY OF GRESHAM
Urban Design & Planning
1333 N.W. Eastman Parkway
Gresham, Oregon 97030-3825

**STAFF REPORT - TYPE III
FINDINGS AND RECOMMENDATIONS**

HEARING DATE: January 14, 2010

REPORT DATE: January 6, 2010

TO: Gresham Design Commission

FROM: Ken C. Onyima, Senior City Planner

FILE NUMBER: DR-E 09-26000230

APPLICANT: Larry Lewis

REPRESENTATIVE: William Whitney, Whitney Architects

LOCATION: 943 NE Linden Ave.

PARCEL DESCRIPTION: 1S3E10AB 3000, 3100

PROPOSAL: Design Review for a 42-Bed Adult Care Facility
(Linden Care Manor)

DECISION: **APPROVAL WITH CONDITIONS**

EXHIBITS:

- A. Vicinity Map
- B. Applicant's Narrative Materials
- C. Site Plans (Oversized to DC only)

I. FINDINGS OF FACT:

- A. **LOCATION** - The subject property is located south of NE Linden Avenue between NE Division Street and NE 9th Street
- B. **ZONING** - The subject property is designated Downtown Transit Mid-Rise (DTM). This district allows Residential Facilities as being proposed.
- C. **PROPOSAL** - The applicant proposes to develop a 42-unit residential care facility, 11 on-site parking spaces and landscaping.
- D. **SITE DESCRIPTION** - The site occupies .61 acres (26,872 square feet) and is currently vacant. A few trees and shrubs dot the landscape.
- E. **SURROUNDING LAND USES** - The site is bordered on the east by NE Linden Avenue, to the north by a DTM property developed with multi-family dwelling units; to the west by the Gresham Armory; and to the south by another developed DTM property.
- F. **PUBLIC NOTICE AND COMMENTS** - The City of Gresham Development Planning Division sent notices of the request to surrounding owners of record of property as shown on the most recent property tax assessment roll within 300 feet of the subject property. No written comments were received as of this report. Various agencies were sent notices; their comments and recommendations are attached to and made a part of this Review and Decision.
- G. **APPLICATION ACCEPTANCE DATE:** The application was accepted and deemed complete on November 10, 2009.

II. APPLICATION PROCESS FINDINGS

- 11.0101 **Development Permit Required: Satisfied** - A development permit is being pursued in accordance with the Gresham Development Code standards and requirements. This staff report represents the review of the proposed development as it relates to the Gresham Development Code standards and requirements for development.
- 11.0203 **Type III Design Commission Hearing: Satisfied** - This proposal is subject to Design Review E (a Design Commission Type III procedure), because it is a request for Larger Development that proposes to meet the design standards set forth in the Design District. Under this procedure (Type III), notice of this proposal was mailed to owners of property within 300 feet of the site and to the affected neighborhood association (Central City). The notice was also posted on site and published in the *Gresham Outlook*. The notice provides an opportunity for persons to make written

or oral testimony at the hearing, or written testimony prior to the hearing, which address relevant criteria and standards.

- 11.0900 Development Permit Application and Decision: *Satisfied*** - A development permit application for a Type III review, in accordance with Section 11.0902 was submitted to the City on October 2, 2009. The application was initially deemed incomplete on November 3, 2009. However, upon submittal of additional information on November 10, 2009 it was deemed complete by the City on November 10, 2009. The determination of completeness occurred within 180 days of the submittal of the initial application. Copies of the application were transmitted to each affected agency and city department for review and comment. Section 11.0903(G) requires that a final decision be issued within 120 days of the determination of completeness. This decision is issued by that date.
- 11.0402 Public Notice Requirements** - A notice of the proposed development was mailed to property owners within 300 feet of the proposed development. The notice gave a brief description of the proposal, a list of the applicable development standards and criteria for decision, the location of the proposed development, and a contact person.

III. FINDINGS:

The Manager adopts the findings in the Applicant's application submittal material as found in Exhibits B and C and supporting evidence relied on therein, except to the extent inconsistent with the following findings. The Manager makes the following findings regarding this application file.

4.1151.A.3.d.5 Walkway Connection to Transit Stop: *Not Applicable*. The applicant's narrative omitted this section; however there is no transit stop adjacent to the development. The numbering for Section 4.1151.A.3.d as shown on page 13 of the narrative needs to be corrected so as to match the appropriate code sections (d.5 becomes d.6, d.6 becomes d.7 etc.).

4.1151.A.5.h.1 Compliance with 7.0201(M)(5) (Shared Open Space): *Satisfied by Conditions*. This section requires that a shared open space area of at least 1,000 square feet in area be provided for a development of 20 units or more. An additional 250 square feet area is to be provided for each additional 10 units beyond the first 20 units. This means that a total of 1,550 square feet of shared open space is required for this 42-unit development. The proposal shows a shared open space area to the south of the building. It does not appear that the area is up to the required 1,550 square feet. A condition of approval will require that an area equal to 1,550 square feet be provided as a share open area.

4.1151.B.5.d Standards for non-residential Development: *Not Applicable.* This residential care facility is a residential development; therefore the standards of this section do not apply. The transparency standards are already addressed under section 4.1151.B.5.d.

7.0201(D)(4) – Children’s Play Area: *Satisfied.* This section exempts elderly housing from providing children’s play area. Shared open space is required in its place instead. This required shared open space is provided as discussed under 4.1151.A.5.h.

7.0201(D)(8) – Tree Preservation: *Satisfied by Condition.* A total of 9 trees are proposed for removal in connection with this development. Only one out of the 9 trees is not a street tree. The one non-street tree need not be replaced as up to three on-site trees may be removed in a calendar year from a site of this size without a permit. However, a Type 1 street tree removal permit will be required prior to the removal of the rest of the trees. A replacement plan has been proposed for the removed street trees along the property frontage as required.

7.0201(I)(c) – Walkways Crossing Vehicular Paths: *Satisfied by Condition.* A walkway crosses the drive aisle at the northwest corner of the site. This walkway crossing shall be paved with materials different and visually contrasting from the pavement material in the drive aisle. Painted striping is not allowed. A condition of approval will address this.

IV. STAFF & AGENCY COMMENTS

The noted comments and requirements are from various City staff regarding compliance with applicable code appendices and other applicable codes.

DEVELOPMENT ENGINEERING COMMENTS:

A5.000: General

The project is located on the west side of NE Linden Avenue, in the Downtown Transit Mid-Rise (DTM) Land Use District (formerly DR-30). The applicant proposes a 42-unit residential adult care facility. The developer previously received approval of SD-08-0219 for 13 single-family attached units. The following comments are from Development Engineering, and refer to the plans submitted by CKI Inc. on November 10, 2009.

A5.100: Sanitary Sewer Facilities

There is an old 8-inch concrete main in Linden Avenue. Records indicate two laterals along the site frontage. If sized adequately for the development, an existing lateral can

remain to serve the new use. Only one will be allowed; unused laterals shall be abandoned at the main. The plans show one new lateral; however, it is unclear if it will be connected to an existing tee or if it is a new tap. Clarify on construction plans.

A5.200: Surface Water Management Systems

The site lies in the Fairview Creek Drainage Basin. Detention and water quality treatment are required for the development. Stormwater management will be a challenge for this development, as the surrounding existing systems are shallow. The stormwater will be managed with a combination of methods, to include: pervious walkways, rain gardens, roof drain planter boxes, water quality catch basin, and cash-in-lieu. The cash-in-lieu is requested due to topographical constraints of the existing shallow storm system. The applicant will be required to show that all feasible treatment/detention options have been implemented to minimize areas for cash-in-lieu. The proposed stormwater management design can be altered provided City standards are met (including any approved design modifications).

The applicant will be responsible for extending a storm main along Linden Avenue from 9th Street to convey runoff from the development, as shown on the plans. City records (as-built drawings NE0287C and NE0320AH) indicate an existing 15-inch storm line on the north side of the existing manhole at Linden and 9th Street. Verify size/length of this pipe on the construction plans.

Plantings in the rain gardens and planter boxes shall comply with Green Development Practices Manual, or as approved by Watershed Manager.

Since it is anticipated that some of the stormwater runoff will be conveyed into the public system undetained, the applicant will need to include capacity analysis in the calculations to be submitted with construction plans.

City records (as-built drawings NE0287C and NE0320AH) indicate an existing 15-inch storm line on the north side of the existing manhole at Linden and 9th Street. Verify existing/size/length of this pipe on the construction plans.

The final stormwater design will need to include: comprehensive calculations addressing the site as a whole; tabulation of existing impervious area and new impervious area after development (including any improvements in the right-of-way); capacity analysis; basin map showing the drainage areas; and an evaluation of areas proposed for cash in lieu of detention and/or water quality treatment.

A maintenance plan and agreement shall be implemented for the private storm facilities.

As the area of disturbance is less than one acre, an NPDES 1200-C permit is not required from Oregon DEQ. Erosion and sedimentation control shall comply with the Erosion Prevention & Sediment Control Manual, January 2006.

A5.300: Water Facilities

The site is in the Grant Butte Service Level, with a static pressure of approximately 64 psi. There is a 10-inch ductile iron water main along Linden Avenue.

There are two fire hydrants that meet spacing requirements, one at 9th and Linden and one at 10th and Linden. Preliminary modeling indicates available flow of 1700 gpm from one of the hydrants. The applicant will be required to submit flow demand calculations for domestic, irrigation, and fire protection requirements to determine if this flow is adequate to serve the development. The Fire Department has indicated that 4250 gpm is required if sprinklers are not installed; the applicant has indicated they will be. When building plans are reviewed, Fire Department will have final determination whether available flow is adequate, and if any new hydrants are required.

A reduced pressure backflow assembly will be required for this use.

Records indicate an existing 5/8-inch meter on a 3/4-inch service, which does not meet current standards. This service will need to be abandoned and replaced with one adequate to serve the new development. The applicant has indicated the need for a 2-inch meter; this may be adjusted based on demand calculations to be submitted. City crews will perform the water taps at the applicant's expense.

A5.400 Streets

There is a discrepancy between standard detail nomenclature between the Downtown Plan District Design Manual and the Public Works Standards. The appropriate streetlight standard to use is Standard Detail #636 as found in PWS.

It appears that the franchise utilities will be provided from the east side of Linden Avenue. The construction plans shall address disposition of the overhead lines shown on the west side of the project frontage, per Section A5.510 of the Development Code.

Charges and Fees:

Engineering records indicate no liens or assessments on the property. System Development Charges (SDCs) and connection fees for parks, traffic impact, storm drainage, water, and sanitary service are required prior to building permit issuance. Connection and SDC rates charged will be those in effect at time of building permit application submittal. The development will qualify for a 26.9% reduction in trips for the traffic impact fee. SDC credits for the previously existing home will apply.

A person challenging the calculation of a systems development charge (SDC) and/or a facilities charge (FC) must appeal within 10 calendar days of the date the building permit relating to the charge is issued. The appellant shall file with the City Manager a written notice of appeal pursuant to GRC 1.05.025.

For required public improvements (right-of-way, stormwater, wastewater and water facilities), the developer will enter into a contract to pay City staff for plan review and inspection services. A deposit will be paid based on the engineer's estimate, and these services will be paid for at actual rates

TRANSPORTATION PLANNING COMMENTS:

Development Transportation Planning has reviewed the proposed project and has the following finding in addition to those provided by the applicant:

A Design Modification (attached) was approved for the curb-side drop-off. The proposed tentative plan complies with the Design Modification approval.

Recommendation – Approval, as proposed.

- Thirteen feet of right-of-way dedication along the NE Linden Avenue frontage, as proposed. The right-of-way dedication will need to be accomplished by separate instrument and will need to be recorded prior to issuance of the building permit.
- Standard Urban Residential Street frontage improvements, including a minimum 20 feet of pavement width from the north end of the site to NE 9th Street, curb, 5-foot amenity zone (including street trees and street lights), and 6-foot sidewalk, as proposed. The street improvements will include a drop-off zone and a driveway.



MEMORANDUM

Urban Design & Planning Development Section

To: Jeff Shelley, Transportation Engineer
From: Jim Wheeler, Senior Development Transportation Planner *ASW*
Date: September 25, 2009
Subject: Linden Care Manor (PAM 09-26000188) at 943 NE Linden Avenue
Request for Design Modification – Urban Residential Street Curb-Side Drop-Off

Project:

The project is for a 38-unit residential care facility located in the Downtown Transit Mid-Rise (DTM) District, which requires the building to be located close to the street.

Utility:
Streets

Approval Request:

Request approval to widen the Urban Residential Street right-of-way from the standard 28 feet to centerline to 35 feet to centerline. The wider right-of-way will include a curb-side drop-off for the residential facility.

Public Works Standard Drawings: #650

Reason for the request:

- State Department of Human Resources requires a drop-off for this type of facility.
- The District requirements call for the building to be no more than 15 feet from the front property line (right-of-way).
- Additional right-of-way dedication will help the development achieve compliance with the minimum Floor-to-Area-Ratio (FAR).

Findings

- The proposed Design Modification has the drop-off curb approximately 18 feet off-set from the standard street curb location.
- There is only a 5-foot sidewalk abutting the curb-tight drop-off zone.
- The public sidewalk abutting the curb-tight drop-off zone is not located within the right-of-way.


Conclusions

- The curb off-set is too great for the limited length of drop-off (approximately 45 feet).
- There appears to be no reason for the 18-foot wide drop-off zone.
- A 10-foot wide drop-off zone will permit a wider public sidewalk abutting the drop-off curb, in compliance with the Urban Residential Street standards.
- A 10-foot curb off-set for the drop-off zone and a 10-foot sidewalk corridor within the right-of-way, abutting the drop-off zone will require a right-of-way width of 38 feet from centerline.
- The 38-foot right-of-way from centerline will have the building located approximately 3 feet closer to the front property line than what is proposed, still in compliance with the DTM setback standards.
- The modified design will reduce the out-of-direction travel for the pedestrian.
- The overall design modification will permit a residential care facility in the Downtown District, in compliance with the State drop-off requirements and the City's frontage setback, occupancy and floor-area ratio requirements.

Decision:

The request to construct curb-tight, drop-off along the Urban Residential Street frontage of the property located at 943 NE Linden Avenue is approved with the following modifications and conditions:

- The drop-off curb off-set from the standard Urban Residential Street is no more than 10 feet.
- The transition from the standard curb location to the drop-off curb location has minimum curb return radii of 13 feet.
- There is a minimum sidewalk corridor width of 10 feet abutting the drop-off zone, per the Urban Residential Street improvement standards.
- The full sidewalk corridor is located within the public right-of-way (minimum right-of-way width of 38 feet to centerline).

 9/26/89

Design Modification Request

Project:

Proposed Residential Care Facility at 943 N.E. Linden Avenue
City File No.: 09-26000188
Date: July 29, 2008

Utility:

Street Layout

Design Modification Request:

Respectfully request a modification to the City of Gresham Development Code, Section 4.1143(C) Urban Residential Street, for additional R.O.W. dedication width.

Section 4.1143(C) — Urban Residential Street:

Typical Urban Residential Street section is 17 feet from centerline to curb, with a 5.5-foot amenity zone and a 5-foot sidewalk. The total right-of-way width is 56'.

Reason for the request:

The improved R.O.W width of N.E. Linden Avenue is 56-feet per the Urban Residential Street standards. A 3-foot wide dedication is required to accommodate the 56-foot R.O.W. width. The proposed use for the site is a residential care facility. The State of Oregon Department of Human Services requires a drop-off area adjacent to the entrance of the building. We request that the curb and sidewalk be modified to allow for the drop-off area. The modification would be for a 10-foot wide dedication (7 feet additional to the 3-foot dedication resulting in 35 feet from centerline to curb). Street trees shall be located at each end of the proposed drop-off area.

Due to the DHS requirement, we request the acceptance of the design modification.

Thank you,



Todd Pomeroy
Whitney Architects

Attachments: Proposed Site Plan Sheet

DES Approved: _____ Date: _____
Signature

RECEIVED
SEP 21 2009
CITY OF GRESHAM
PERMIT CENTER



SCALE: 1" = 10'

FIRE COMMENTS:

1. Provide the required fire flow per Oregon Fire Code Appendix B. Fire flow for commercial buildings varies based on construction and square footage. The building is listed as 24,405 square feet and Type V construction. That would require a fire flow of: 4,250 gallons per minute without a fire sprinkler system; refer to **OFC App B Table B105.1**.
2. Additional fire hydrants may be required depending on their distance to the furthest point of the building and the fire flow requirements. **OFC APP-C**
3. All fire department access roads (parking lot drive) shall be not less than 26 feet wide due to building height and may require No Parking Fire Lane signs or curb marking. **OFC 503**
4. The fire access road on site shall support an apparatus weighing 75,000 pounds. Provide an engineers letter stating the surface will meet that requirement. **OFC App D 103.4**
5. The fire apparatus access road appears to be longer than 150' and a dead end. An approved turnaround shall be provided per OFC Table D-103.1.
6. Both new and existing fire hydrants shall be shown on plans. Additional fire hydrants may be required due to fire flow available or building construction type. **OFC 508.5**
9. All fire department access roads, watermains and fire hydrants shall operate prior to any building construction. **OFC 1414.1**
10. Fire sprinkler and fire alarm systems may be required due to building size, construction type, occupancy, and fire flow available. **OFC 9**
9. PIV's, FDC's and fire hydrants shall be at least 40 feet from any portion of the building. **NFPA 13 & 24**
10. The FDC shall be within 50 feet of a public fire hydrant. **NFPA 13E**

BUILDING DIVISION COMMENTS:

This application will require building permit(s). The project will be required to be designed using the Oregon state amended building codes. Depending on the scope and complexity of the project either an architect and/or a structural engineer might be required to design the project. All plans will need to clearly show compliance with the Oregon Building codes and it is the applicant's responsibility to demonstrate this for the jurisdiction's review process. After the application has been approved by the Planning Department a pre-submittal will need to be scheduled with the Building Department with

all of the Planning review's conditions of approval and all required information included on the plans. Johnny Vollendroff can be contacted to set up this meeting at (503-618-2868) for an appointment.

RECYCLING AND SOLID WASTE COMMENTS:

After reviewing the application and drawings, it appears that the garbage and recycling enclosure is undersized for the square footage and type of development. The enclosure is designed to accommodate two 2-yard garbage dumpsters, two 95-gallon recycling roll carts and one 35-gallon glass roll cart. This level of service is insufficient. The Recycling and Garbage Service Planning Matrix indicates that such a use would need a minimum of 14.4 yards of garbage service weekly, plus a 6-yard recycling cage and at least one glass roll cart.

Conditions:

1. Widen enclosure to accommodate one forward-facing 6-yard garbage container, one 4-6 yard recycling cage, plus one glass only recycling roll cart.
2. Move, expand, and rotate orientation of enclosure due East of planned location to allow for direct truck access to enable direct front stab servicing of the 6-yard garbage container. The 4-6 yard recycling cage does not need to face the front of the enclosure and can be oriented perpendicular to the 6 yard garbage container (parallel to the side wall of the enclosure).

Recommendations:

To minimize width of the enclosure, staff recommends that the enclosure doors be mounted flush with the side walls of the enclosure, as opposed to having the short enclosure walls on the front face of the enclosure. Inside dimensions of the enclosure should be approximately 18.5 feet wide by 9.6 feet deep.

LIENS & COLLECTION COMMENTS:

LIENS: Code Enforcement Lien. **Liens must be paid before Permits are Issued.**
Contact: Charlene Siegfried @ 503-618-2380 & Kristen Childs @ 503-618-2252.

V. DECISION

The design review for the proposed 42-unit residential care facility is approved subject to the conditions of approval listed in Section VI of this staff report. Note that this approval is based on the applicant's presented narrative and plans and the conditions are aimed at assuring the criteria are met when the applicant's narrative and plans do not provide enough information to assure each criterion is met.

VI. CONDITIONS OF APPROVAL

General Conditions:

1. The findings and approval of this design review is based on the plans submitted as a part of the development application. Development shall conform to the plans as submitted and as modified by the Conditions of Approval. Any changes to the plans must comply with the Gresham Development Code, City of Gresham Public Works Standards, the Building Code and Uniform Fire Code.
2. This approval is valid for one year from the date of decision¹. A structural or grading permit must be submitted to the City within this time period or an application for extension filed and granted. Please refer to Section 11.0105 for information on the expiration of development permits.

Conditions of Approval Applicable at Building Permit Submittal/Approval:

3. A walkway crosses the drive aisle at the northwest corner of the site. This walkway crossing shall be paved with materials different and visually contrasting from the pavement material in the drive aisle. Painted striping is not allowed. A condition of approval will address this.
4. A Type 1 street tree removal permit will be required prior to the removal of all trees within the public right-of-way.
5. After the application has been approved by the Planning Department a pre-submittal will need to be scheduled with the Building Department with all of the Planning review's conditions of approval and all required information included on the plans. Johnny Vollendroff can be contacted to set up this meeting at (503-618-2868).
6. Widen the garbage enclosure to accommodate one forward-facing 6-yard garbage container, one 4-6 yard recycling cage, plus one glass only recycling roll cart.

¹ Please note, it is the responsibility of the developer to keep track of expiration time lines.

7. Move, expand, and rotate orientation of garbage enclosure due east of planned location to allow for direct truck access to enable direct front stab servicing of the 6-yard garbage container. The 4-6 yard recycling cage does not need to face the front of the enclosure and can be oriented perpendicular to the 6-yard garbage container (parallel to the side wall of the enclosure).

8. To minimize width of the garbage enclosure, staff recommends that the enclosure doors be mounted flush with the side walls of the enclosure, as opposed to having the short enclosure walls on the front face of the enclosure. Inside dimensions of the enclosure should be approximately 18.5 feet wide by 9.6 feet deep.

9. The outstanding Code Enforcement Lien on this property must be paid before building permit is issued. Please contact Charlene Siegfried at 503-618-2380, or Kristen Childs at 503-618-2252 for details

Conditions of Approval Relating to Construction Plans:

10. The applicant shall provide adequate public facilities and services including access, drainage, water and sanitary sewer, per all applicable sections of Appendix 5 of the Community Development Code, and 2006 Public Works Standards.

11. Applicant shall schedule a pre-design meeting with Wendy Marshall at 503.618.2395 prior to construction plan submittal to discuss permit processes, technical requirements, design and construction schedules, and plan review processes.

12. Clarify existing and proposed wastewater lateral locations on the construction plans, and abandon any unused laterals at the main.

13. Demonstrate that all feasible treatment/detention options have been implemented to minimize areas for cash-in-lieu. A design modification will need to be approved for the cash-in-lieu option.

14. Final stormwater management design shall meet Public Works Standards, or as approved through design modifications.

15. Plantings in the rain gardens and planter boxes shall comply with Green Development Practices Manual, or as approved by Watershed Manager.

16. The final stormwater design shall include: comprehensive calculations addressing the site as a whole; tabulation of existing impervious area and new impervious area after development (including any improvements in the right-of-way); capacity analysis; basin map showing the drainage areas; and an evaluation of areas proposed for cash in lieu of detention and/or water quality treatment.

17. A maintenance plan and agreement shall be implemented for the private storm facilities.
18. A reduced pressure backflow assembly will be required for the water service.
19. The existing substandard water service will need to be abandoned and replaced with one adequate to serve the new development.
20. Utility lines shall be relocated underground in accordance with Section A5.510 of the Development Code.
21. The following right-of-way improvements are required:
 - Thirteen feet of right-of-way dedication along the NE Linden Avenue frontage, as proposed. The right-of-way dedication will need to be accomplished by separate instrument and will need to be recorded prior to issuance of the building permit.
 - Standard Urban Residential Street frontage improvements, including a minimum 20 feet of pavement width from the north end of the site to NE 9th Street, curb, 5-foot amenity zone (including street trees and street lights), and 6-foot sidewalk, as proposed. The street improvements will include a drop-off zone and a driveway.
22. Provide the required fire flow per Oregon Fire Code Appendix B. Fire flow for commercial buildings varies based on construction and square footage. The building is listed as 24,405 square feet and Type V construction. That would require a fire flow of: 4,250 gallons per minute without a fire sprinkler system; refer to **OFC App B Table B105.1**.
23. Both new and existing fire hydrants shall be shown on plans. Additional fire hydrants may be required due to fire flow available, building construction type, and distance to the furthest point of the building. **OFC 508.5**
24. All fire department access roads (parking lot drive) shall be not less than 26 feet wide due to building height and may require No Parking Fire Lane signs or curb marking. **OFC 503**
25. The fire access road on site shall support an apparatus weighing 75,000 pounds. Provide an engineers letter stating the surface will meet that requirement. **OFC App D 103.4**
26. The fire apparatus access road appears to be longer than 150' and a dead end. An approved turnaround shall be provided per OFC Table D-103.1.

27. All fire department access roads, watermains and fire hydrants shall operate prior to any building construction. **OFC 1414.1**

28. Fire sprinkler and fire alarm systems may be required due to building size, construction type, occupancy, and fire flow available. **OFC 9**

29. PIV's, FDC's and fire hydrants shall be at least 40 feet from any portion of the building. **NFPA 13 & 24**

30. The FDC shall be within 50 feet of a public fire hydrant. **NFPA 13E**

End of Staff Report

Vicinity Map

Exhibit A



File Number: DR-E 09-26000230

Project: Linden Care Manor



DESIGN REVIEW NARRATIVE
(revised 11-10-09)

Proposed 42-bed Residential Care Facility
943 NE Linden Avenue

CITY OF GRESHAM
LAND USE EXHIBIT
FILE # <u>DR-E 09-26000230</u>
EXHIBIT <u>B</u>

A new 42-bed, three-story Residential Care Facility is proposed for the site located at 943 NE Linden Avenue. The site is designated Downtown Transit Mid-Rise (DTM) which is a sub-district of the Downtown Plan District. The district standards allow for a minimum 1:1 floor-area-ratio and a maximum 3:1 floor-area-ratio. The maximum allowable height is 85 feet.

Linden Avenue is an Urban Residential Street with a 56' wide right-of-way and with a 17' dimension from the street centerline to the improved curb. A 3' wide dedication is required for the street improvements. However, an additional 10' dedication (13' total) shall modify the right-of-way width so that a drop-off area can be provided. This results in a 38' dimension from the street centerline to the r.o.w. dedication line. Street trees shall be located at each end of the drop-off area.

The gross lot area is 26,872 s.f. The net developable lot area (gross area minus the area for a 13' right-of-way dedication) is 25,312 s.f. The total building area over three floors area equals 24,405 s.f. However, as allowed in section 4.1130(C) for the purpose of the floor-area-ratio calculation, the area of the required minimum setbacks shall be included in the ground-level floor area which equates to an additional 1,200 s.f. Therefore, the total building area equals 25,605 s.f. which is greater than the minimum 1:1 floor-area-ratio of 25,312 s.f. Landscape area shall exceed the minimum requirement of 15% of site area.

Per Table 9.0851, automobile parking shall meet the minimum requirement of 1 space per 4 beds (11 required, 11 provided) and bicycle parking shall meet the minimum requirement of 1 space per 5 beds (10 required, 10 provided). The parking area shall be located at the rear of the site and access shall be via a 26' wide driveway. Note that because of the width of the driveway, the minimum requirement that 75% of the site's frontage be occupied by building cannot be met. Under 4.1142(C), this minimum requirement may be reduced to allow for the driveway.

A separate sign permit shall be required for all signage on the site.

This proposal shall conform to the clear and objective standards as outlined in the following sections of the City of Gresham Development Code:

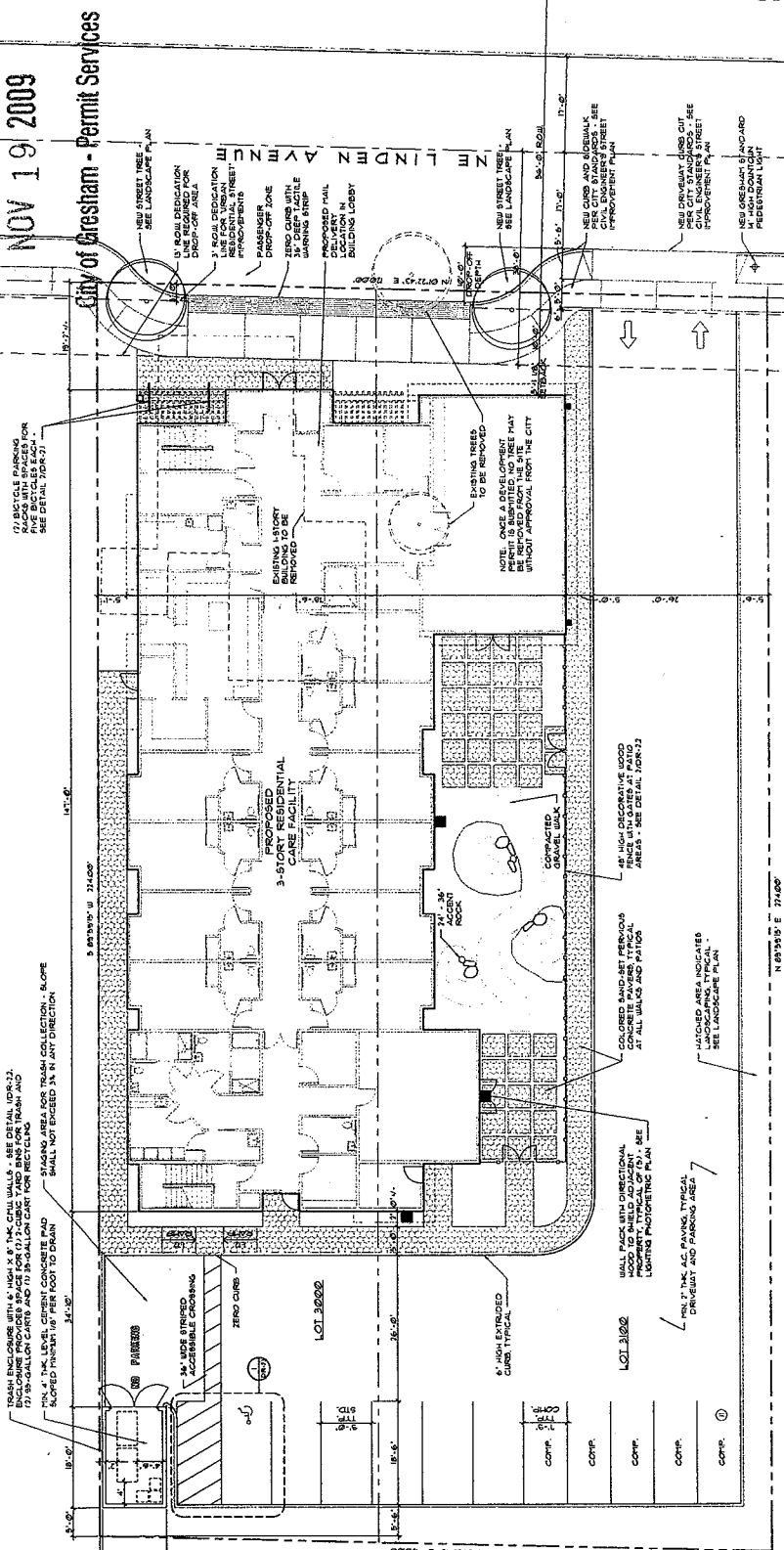
- 4.1112 - Downtown Transit Mid-Rise (DTM)
- 7.0201 - Residential Design Review
- 7.0212 - Solid Waste
- 7.0220 - Additional Standards
- 9.0500 - Grading, Drainage & Stormwater
- 9.0700 - Neighborhood Circulation & Future Street Plan
- 9.0800 - Parking
- 9.1000 - Trees
- A5.000 - Public Facilities

RECEIVED
NOV 25 2009
City of Gresham

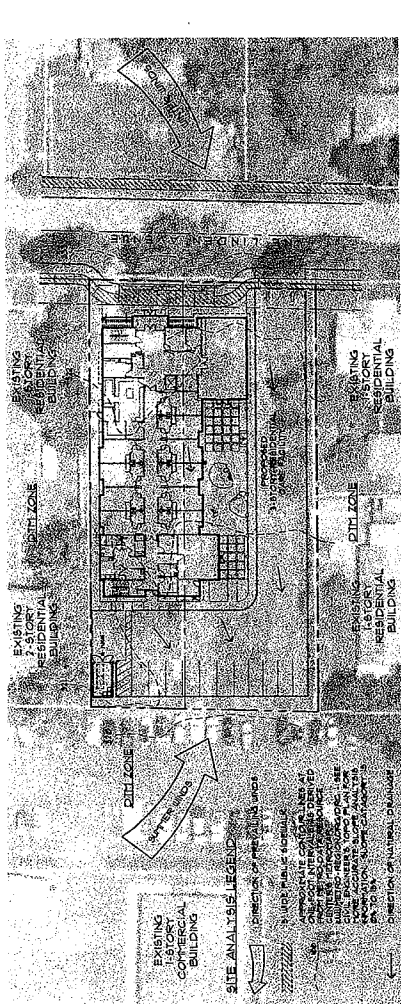
The standards and criteria of the above sections are addressed in the attached narratives.


LINDEN CARE MANOR
DR-E 09-26000230

EXHIBIT B: Complete Submittal Checklist Narrative are maintained and available for review in the Gresham Urban Design & Planning office files.



SITE DEVELOPMENT PLAN
SCALE: 1" = 50'



SITE ANALYSIS DIAGRAM  **DESIGN REVIEW**
SCALE: 1"=30'



SITE ANALYSIS DIAGRAM
SCALE: 1"=30'

2 BICYCLE PARKING

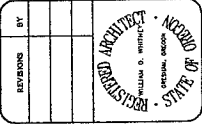
① ACCESSIBLE PARKING

① ACCESSIBLE PARKING

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City of Gresham - Permit Services

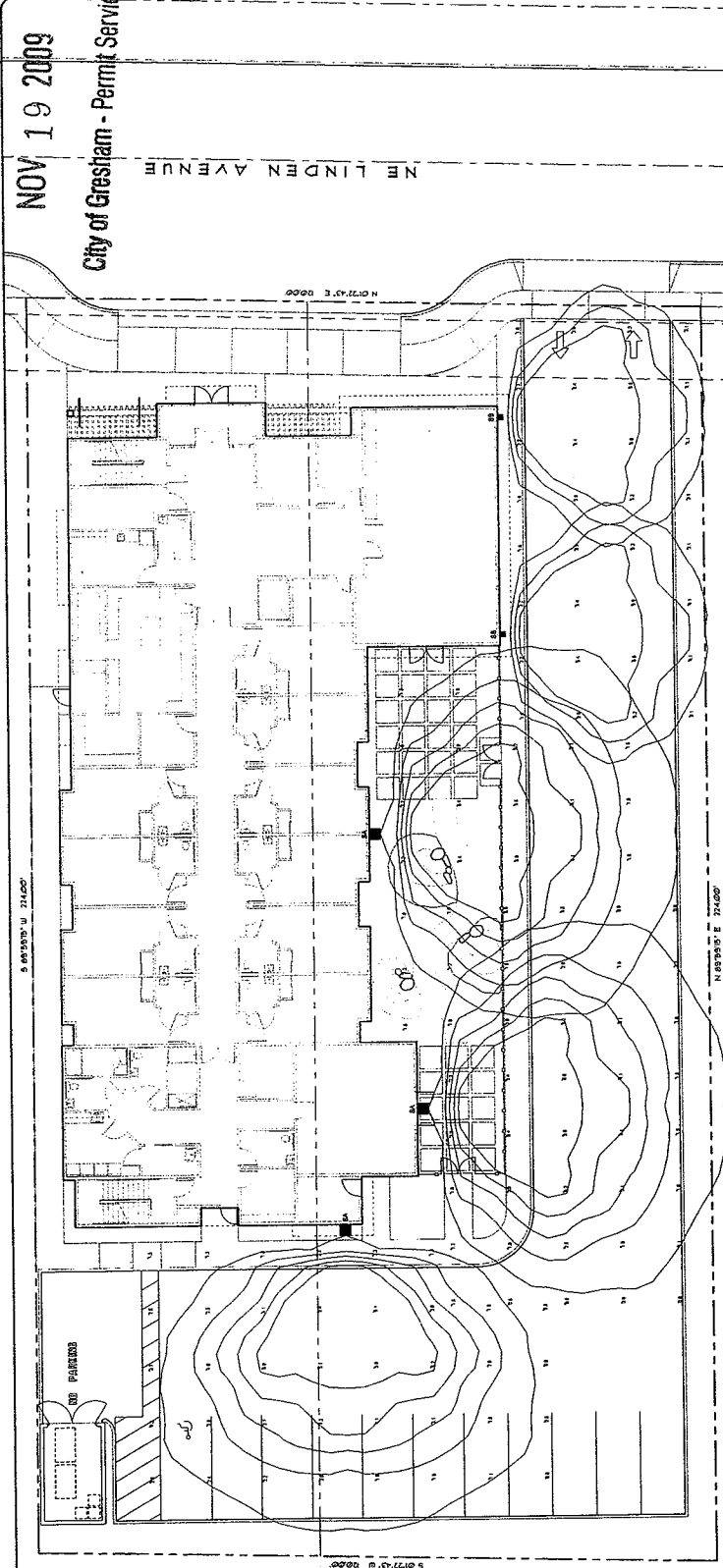


WHITNEY ARCHITECTS
300 NORTH MAIN STREET
GRESHAM, OREGON 97030
503-684-0000 FAX 503-684-0000
Email: whitney@whitneyarchitects.com

LINDEN CARE MANOR
A NEW RESIDENTIAL CARE FACILITY
943 NE LINDEN AVENUE
GRESHAM, OR 97030
DESIGN REVIEW
LIGHTING PHOTOMETRIC PLAN / SITE DETAILS

DR-2.2
OF 1 SHEET
DATE: 04-11-09

DESIGN REVIEW

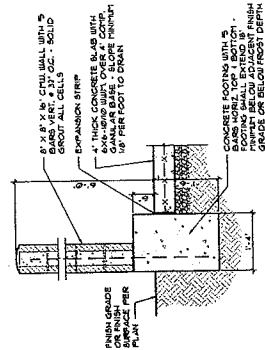


LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 10'

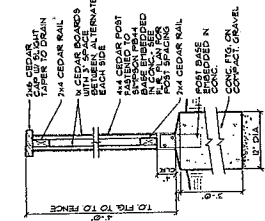
LUMINAIRE LOCATIONS										
Loc	Lat	Long	Alt	Dist	Dist	Dist	Dist	Dist	Dist	Dist
1	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
2	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
3	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
4	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
5	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
6	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
7	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
8	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
9	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
10	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0

STATISTICS										
Count	10	10	10	10	10	10	10	10	10	10
Sum	100	100	100	100	100	100	100	100	100	100
Avg	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
Std Dev	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Min	8.0	8.0	8.0	8.0	8.0	8.0	8.0	8.0	8.0	8.0
Max	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0

LUMINAIRE SCHEDULE										
Symbol	Lat	Long	Alt	Dist	Dist	Dist	Dist	Dist	Dist	Dist
1	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
2	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
3	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
4	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
5	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
6	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
7	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
8	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
9	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0
10	94.3	42.3	94.3	18.0	18.0	18.0	18.0	18.0	18.0	18.0



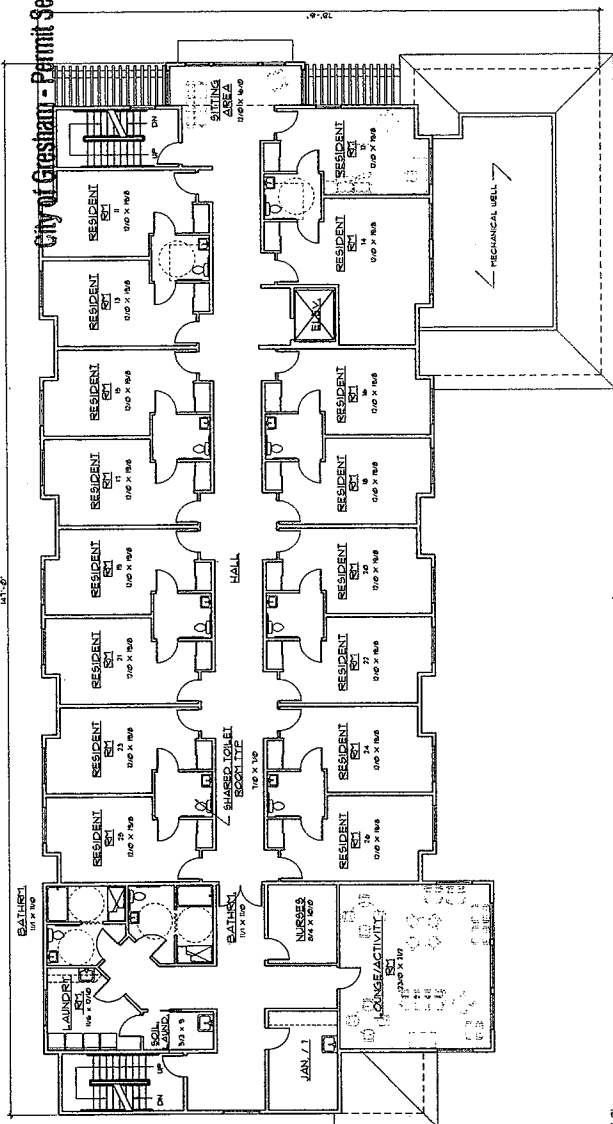
TRASH ENCL. SECTION
SCALE: 3/4" = 1'-0"



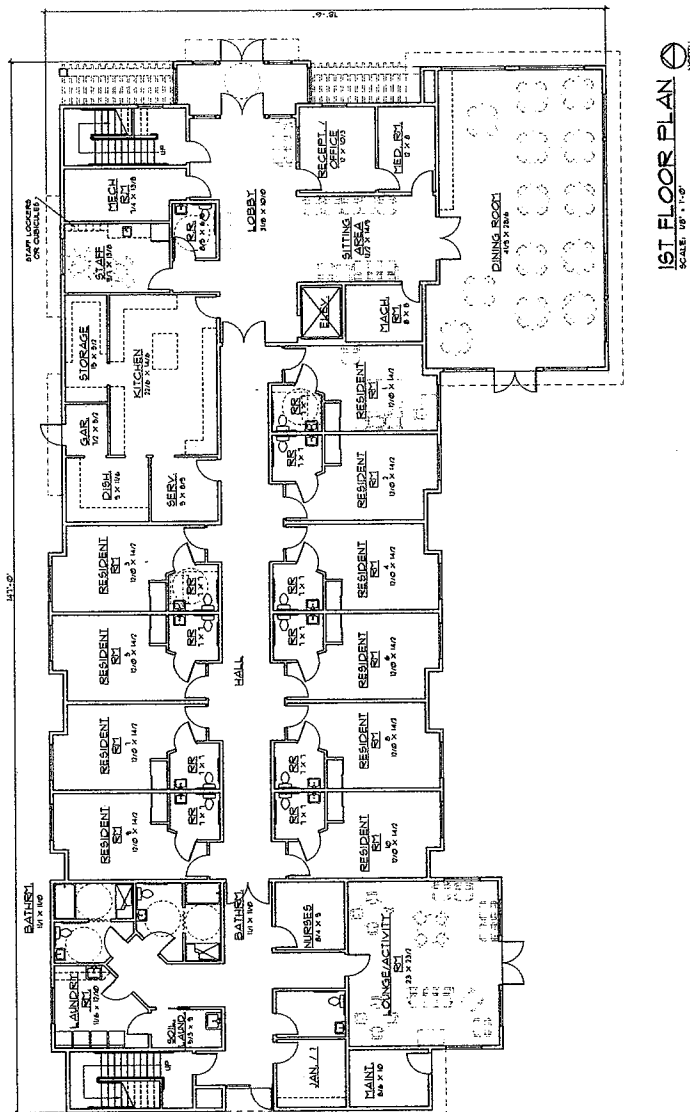
CEDAR FENCE
SCALE: 1" = 1'-0"

NOV 19 2009

City of Gresham - Permit Services



2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH



SCALE: 1/8" = 1'-0"

DESIGN REVIEW


DR-4.1

of - **Heart**

DISCLAIMER

REVISIONS	BY

REGISTERED ARCHITECT
 WILLIAM D. WORTHINGTON
 OREGONIAN, OREGON
 STATE OF OREGON



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SUITE 203

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LINDEN CARE MANOR
A NEW RESIDENTIAL CARE FACILITY
943 NE LINDEN AVENUE
GRESHAM, OR 97030
DESIGN REVIEW
ST FLOOR PLAN / 2ND FLOOR PLAN

DESIGN REVIEW
ST FLOOR PLAN / 2ND FLOOR PLAN

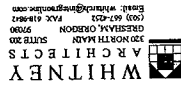
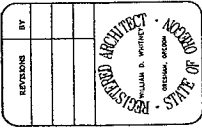
DATE	TIME	DATE	TIME
11-10-09	11:10:09	11-10-09	11:10:09

DR-4.1

Received

NOV 19 2009

City of Gresham - Permit Services



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LINDEN CARE MANOR
A NEW RESIDENTIAL CARE FACILITY
943 NE LINDEN AVENUE
GRESHAM, OR 97030
DESIGN REVIEW
3RD FLOOR PLAN / ROOF PLAN

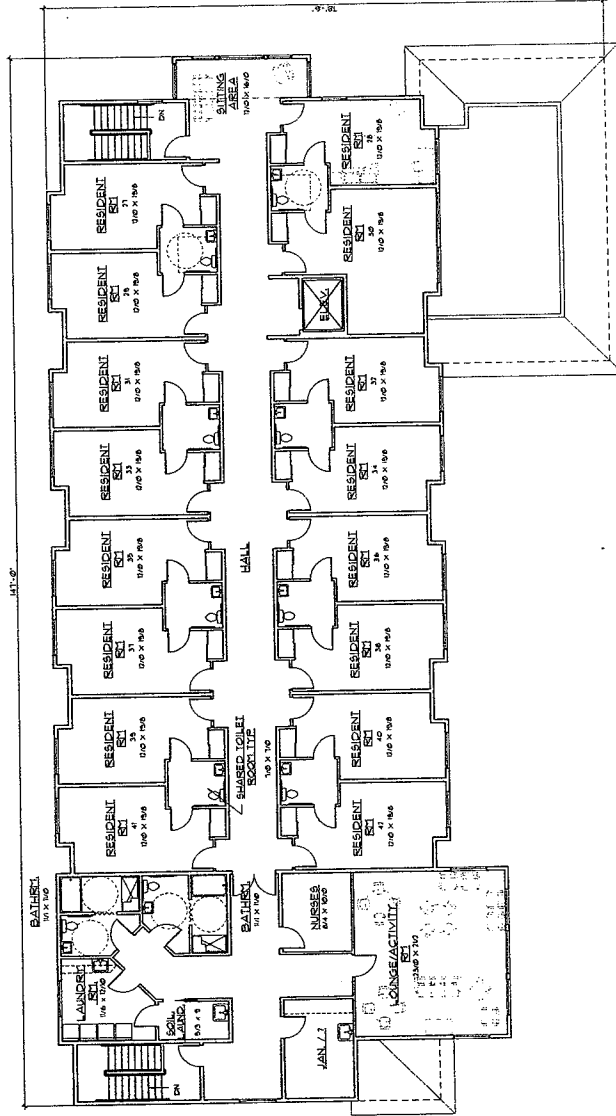
DATE	11/19/09
BY	W.S.
FOR	W.S.
SCALE	AS NOTED
PROJECT	DR-4.2

DR-4.2
OF 1 SHEETS

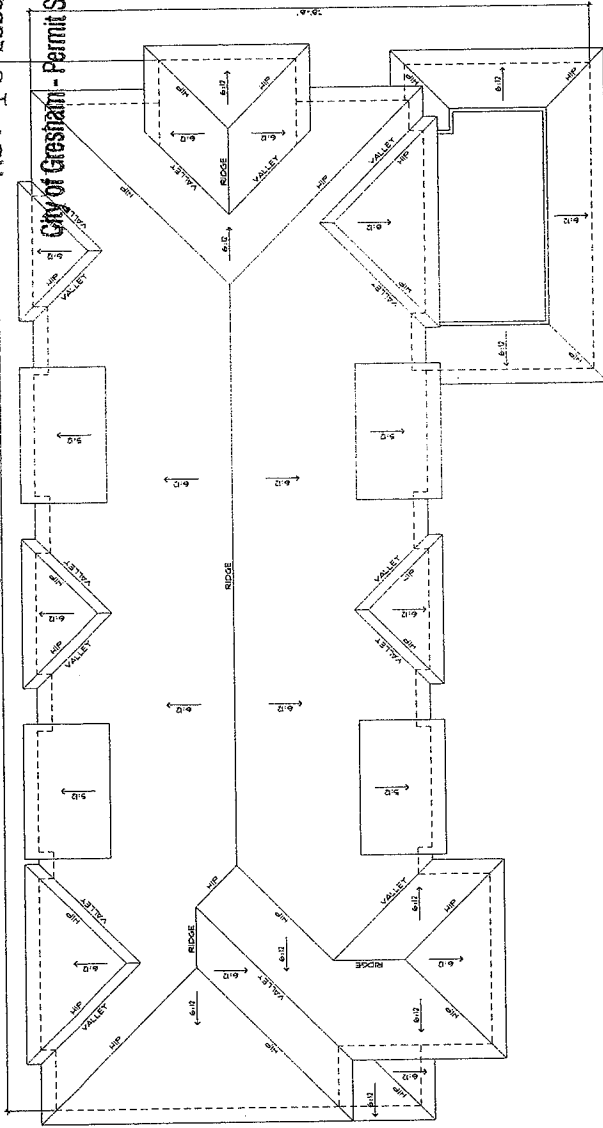
NOV 24 2009

DESIGN REVIEW

3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

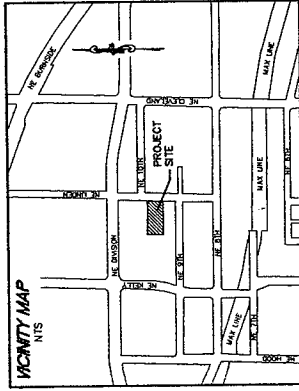
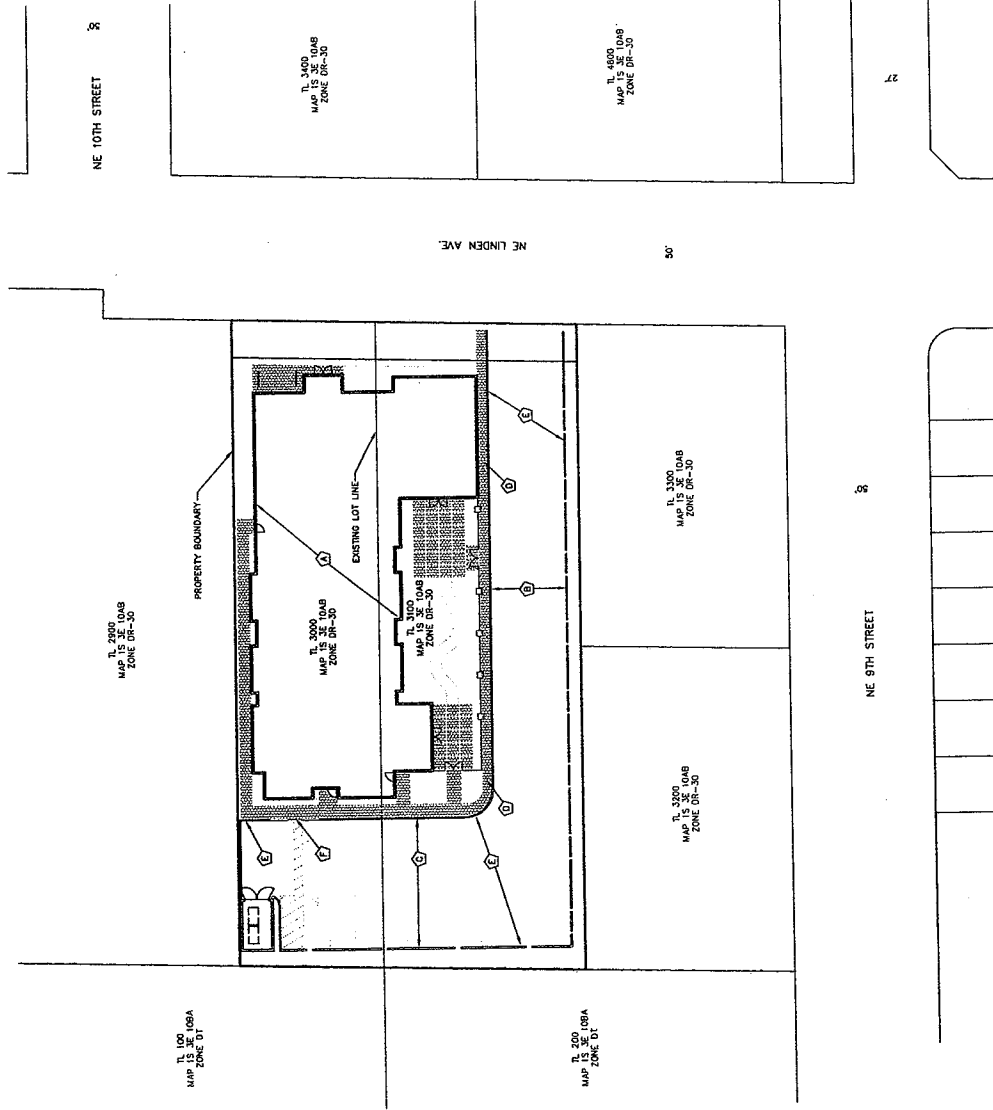


Received

NOV 19 2000

PRELIMINARY PLAT OF
LINDEN CARE MANOR
COVER SHEET AND TENTATIVE SITE PLAN

City of Gresham - Permit Services



SITE PLAN NOTES

- (A) PROPOSED BUILDING
- (B) 20' WIDE PAVED PRIVATE ACCESS
- (C) 8' X 18' PAVED PARKING SPACES WITH 20' ASLT
- (D) 4' WIDE PRIVATE CONCRETE DRIVEWAY
- (E) PROPOSED DRIVE
- (F) PROPOSED ADA RAMP LOCATION

PROJECT INFORMATION

LOCATED IN SECTION 10AB, T15S, R3E, W4E
CITY OF GRESHAM, MULTNOMAH COUNTY, OREGON

SHEET INDEX

- 1. COVER SHEET AND TENTATIVE SITE PLAN
- 2. EXISTING CONDITIONS PLAN
- 3. PRELIMINARY STREET AND UTILITY PLAN
- 4. PRELIMINARY GRADING AND DRAINAGE CONTROL

DEVELOPER

LARRY LEWIS
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GRESHAM, OREGON 97030
503 683 6688

PLANNER - ENGINEER - SURVEYOR

CKI INC.
PO BOX 309
SEASIDE, OR 97138
503 738 7200 OFFICE
503 738 7200 FAX
www.ckiinc.net



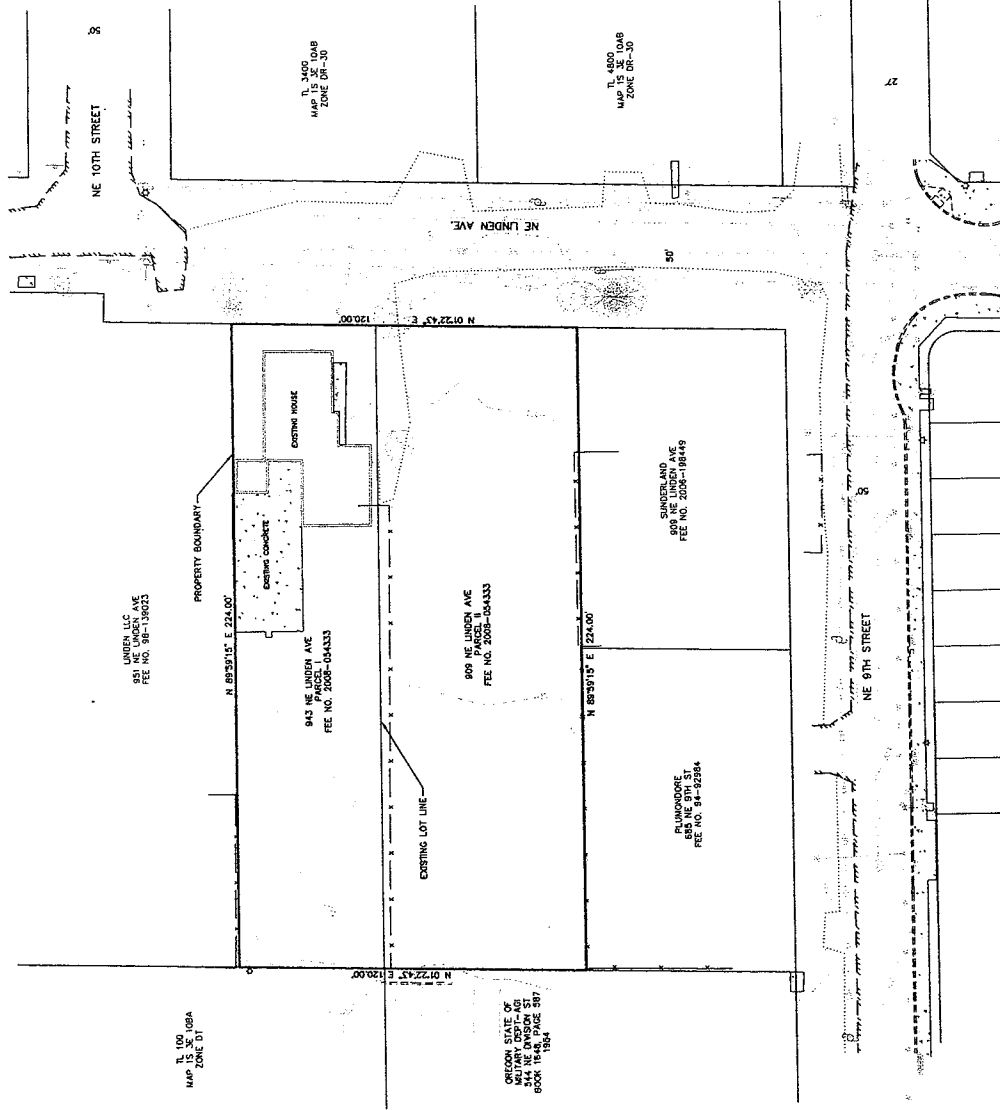
DATE OF MAP: 11/19/00

SHEET 1 OF 4

NOV 19 2009

City of Gresham - Permit Services

PRELIMINARY PLAT OF:
LINDEN CARE MANOR
EXISTING CONDITIONS



LEGEND

—	PROPERTY LINE
- - - - -	EXISTING GROUND CONTOUR
- - - - -	EXISTING DOSE OF PAVEMENT
- - - - -	EXISTING DOSE OF GRAVEL
- - - - -	EXISTING SIDEWALK/CONCRETE
- - - - -	EXISTING CURB
- - - - -	EXISTING WATER LINE
- - - - -	EXISTING STORM LINE
- - - - -	EXISTING SANITARY LINE
- - - - -	EXISTING OVERHEAD POWER
- - - - -	EXISTING FENCE LINE
- - - - -	EXISTING STORM MANHOLE
- - - - -	EXISTING CATCH BASIN
- - - - -	EXISTING SANITARY SINK MANHOLE
- - - - -	EXISTING WATER VALVE
- - - - -	EXISTING FIRE HYDRANT
- - - - -	EXISTING TELEPHONE RISER
- - - - -	EXISTING POWER POLE AND GUY WIRE
- - - - -	EXISTING STREET LIGHT
- - - - -	EXISTING CONIFER TREE
- - - - -	EXISTING DECIDUOUS TREE

DEVELOPER
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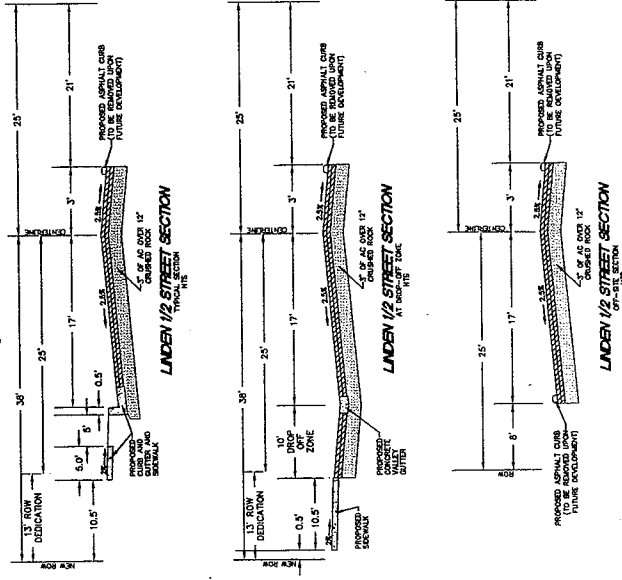
DATE OF PLAT: 11/19/09

SCALE: 1" = 20'

NOV 19 2009

PRELIMINARY PLAN OF
LINDEN CARE MANOR
PRELIMINARY STREET AND UTILITY PLAN

City of Gresham - Permit Services



- WATER NOTES**
- (W1) EXISTING 10" WATER LINE
 - (W2) EXISTING FIRE HYDRANT
 - (W3) PROPOSED WATER SERVICE
 - (W4) ABANDON EXISTING METER
- STORM NOTES**
- (D1) CONNECT TO EXISTING STORM MANHOLE
 - (D2) PROPOSED 12" PUBLIC STORM LINE (TYP)
 - (D3) PROPOSED STANDARD CATCH BASIN
 - (D4) PROPOSED PUBLIC STORM MANHOLE
 - (D5) PROPOSED PRIVATE 4" CARTRIDGE STORMWATER TREATMENT
 - (D6) PROPOSED PRIVATE CATCH BASIN (WATER QUALITY TREATMENT)
 - (D7) PROPOSED RAIN GARDEN (TYP)
 - (D8) PROPOSED PRIVATE STORM CONVEYANCE SYSTEM (4" MIN)
 - (D9) PROPOSED PRIVATE WATER PLANTERS AT CONDUITS (TYP)

DEVELOPER

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10000 NE 10TH AVE
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503 653 6698

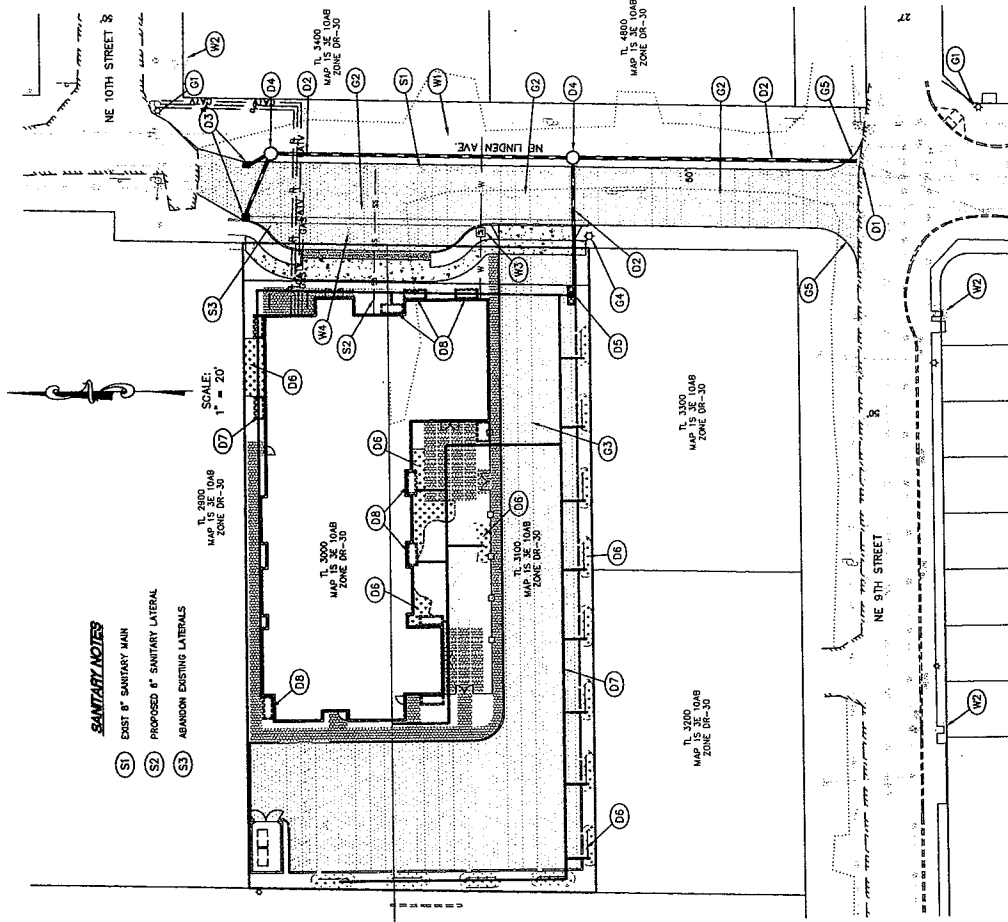
PLANNER - ENGINEER - SURVEYOR

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DATE OF PLAN: 11/19/09

SHEET 3 OF 4



SANITARY NOTES

- (S1) EXIST 8" SANITARY MAIN
- (S2) PROPOSED 8" SANITARY LATERAL
- (S3) ABANDON EXISTING LATERALS

GENERAL NOTES

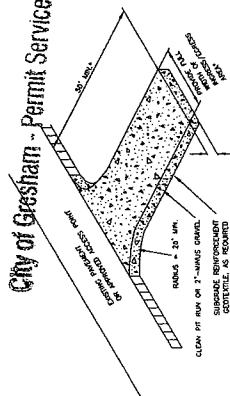
- (G1) EXISTING STREET LIGHT (TYP)
- (G2) PROPOSED PUBLIC STREET IMPROVEMENTS PER TYPICAL SECTIONS
- (G3) PROPOSED PRIVATE ACCESS DRIVE
- (G4) PROPOSED STANDARD 14" HIGH DOWNTOWN PEDESTRIAN STREET LIGHT
- (G5) 15' RADIUS PAVEMENT RETURNS

LEGEND

- PROPERTY LINE
- EXISTING GRADING CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING SIDEWALK/CONCRETE
- EXISTING CURB
- EXISTING WATER LINE
- EXISTING SANITARY LINE
- EXISTING OVERHEAD POWER
- EXISTING FENCE LINE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING SANITARY SINKER MANHOLE
- EXISTING WATER VALVE
- EXISTING TELEPHONE RISER
- EXISTING POWER POLE AND DUT WIRE
- EXISTING STREET LIGHT
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED AC PAVING
- PROPOSED WATER SERVICE LINE
- PROPOSED SANITARY MAIN LINE
- PROPOSED SANITARY LATERAL
- PROPOSED STORM LINE
- PROPOSED WATER METER
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED STREET LIGHT
- PROPOSED FINISH GROUND CONTOUR
- EXISTING CORNER TREE
- EXISTING DECIDUOUS TREE

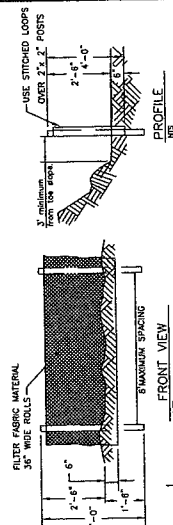
NOTES:
1. FOR STREET TREE LAYOUT, SEE ARCHITECTURAL PLANS.
2. SEE ARCHITECTURAL PLANS FOR BUILDING SETBACKS.

~~City of Gresham - Permit Services~~



NOTES:
1. ADDITIONAL MEASURES MUST BE CONSIDERED
DEPENDENT ON SOIL TYPES.
2. BIOFILTER BAGS SHOULD BE STAKED WHERE
APPLICABLE USING (2) 1"x2" WOODEN STAKES OR

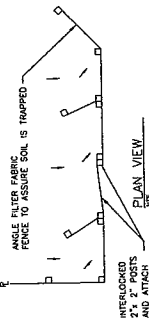
INLET PROTECTION



NOTES:

-
- ANGLE FILTER FABRIC TO ASSURE SOIL IS TRAPPED
1. APPLICATION OF FILTER FABRIC 8" WIDE.
 2. 2" x 2' FILM PIPE ON STEEL FORCE MAINS ARE INSTALLED ON UPWALL SIDE OF SLURRY.
 3. COMPACT BOTH SIDES OF FILTER FABRIC
 4. FILTER FABRIC MUST BE PLACED ACCORDING TO SPACING

SEDIMENT FENCE



DEVELOPER

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DRAWING NAME: B-019PLANNING2

10/200
SHEET 4 OF 4

OVERSIGHT

EXISTING GROUND CONTOUR

FINISH GRADE CONTOUR

SEDIMENT FENCE
DRAINAGE RESTRICTION ENTIRE

TRAVEL CONSTRUCTION ENTRANCE PROTECTION LOCATION

